

Site Plans

Issued for Special Permit
 Date Issued February 5, 2019
 Latest Issue April 17, 2019

45 Clapboardtree Street OSRD Zoning

45 Clapboardtree Street
 Westwood, MA



Sheet Index

| No. | Drawing Title | Latest Issue |
|-----------|--------------------------------------|----------------|
| C-1 | Legend & General Notes | April 11, 2019 |
| C-2 | Locus Map | April 11, 2019 |
| C-3 | Overall Site Plan | April 11, 2019 |
| C-4.1-4.2 | Layout and Materials Plan | April 11, 2019 |
| C-5.1-5.2 | Grading & Drainage Plan | April 11, 2019 |
| C-6.1-6.2 | Utility Plan | April 11, 2019 |
| C-7 | Erosion & Sedimentation Control Plan | April 11, 2019 |
| C-8.1-8.2 | Plan & Profile | April 11, 2019 |
| C-9.1-9.3 | Details | April 17, 2019 |
| C-10 | Fire Access Plan | April 11, 2019 |

Reference Drawings

| No. | Drawing Title | Latest Issue |
|------------|----------------------------------|------------------|
| Sv-1, Sv-2 | Existing Conditions Plan of Land | February 4, 2019 |



Owner

UHS of Westwood Pembroke, Inc.
 367 South Gulph Road
 PO Box 61558
 King of Prussia, PA 19406

Applicant

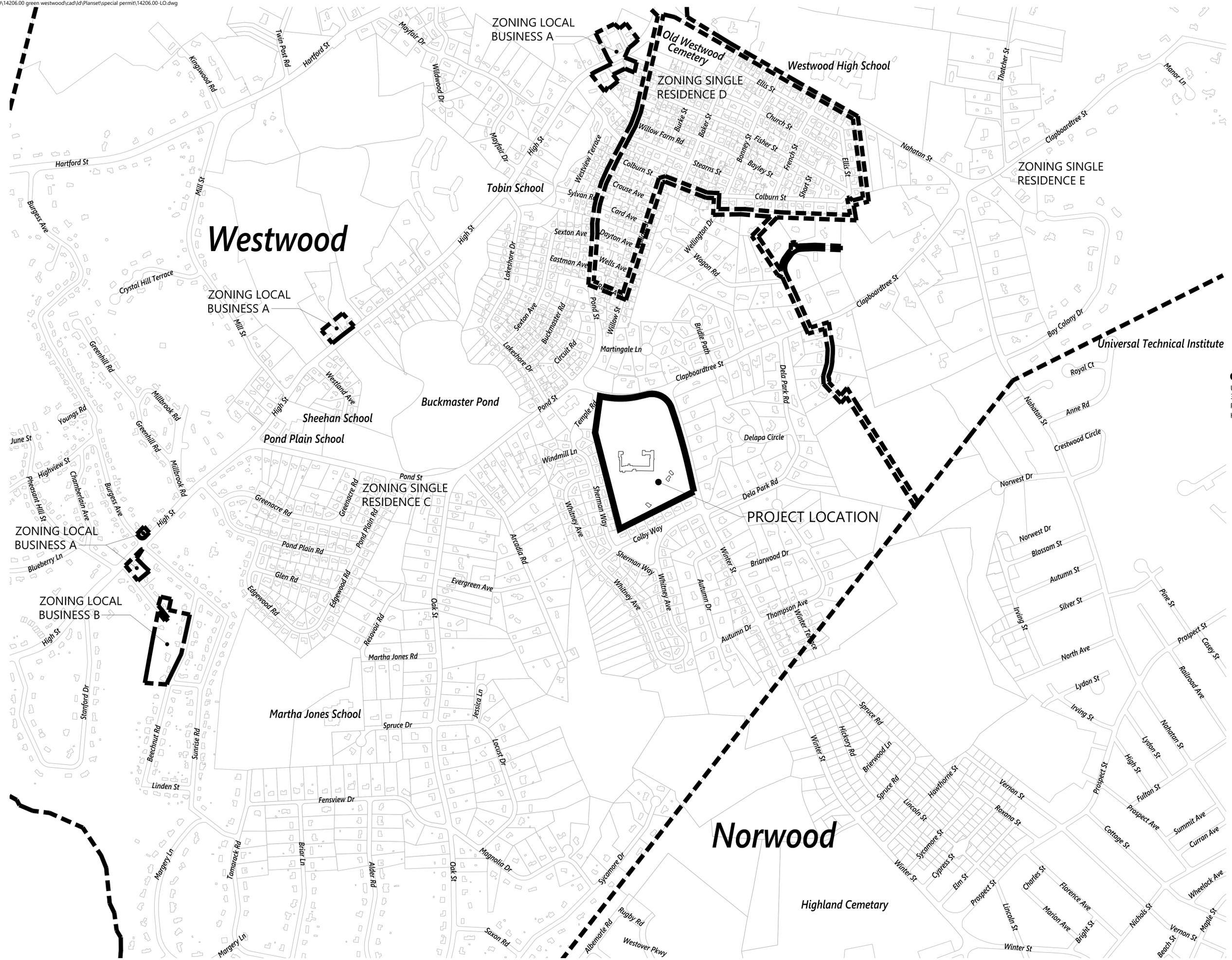
The Green Company
 46 Glen Avenue
 Newton, MA 02459

Assessor's Map:
Map 29, Block 123, PID 3702





101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



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UHS of Westwood Pembroke, Inc.
367 South Gulph Road
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King of Prussia, PA 19406

Applicant
The Green Company
46 Glen Avenue
Newton, MA 02459

Endorsed By:

| | |
|-----------------------------|-------|
| _____ | _____ |
| Planning Board Chair | Date |
| _____ | _____ |
| Sewer Commission Chair | Date |
| Certification of No Appeal: | |
| _____ | _____ |
| Town Clerk | Date |

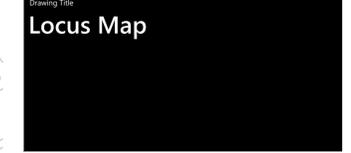
45 Clapboardtree Street OSRD Zoning

45 Clapboardtree Street
Westwood, MA

| No. | Revision | Date | Appr. |
|-------------|----------------------|------------|-------|
| B | Response to Comments | 4/11/19 | |
| A | Response to Comments | 3/25/19 | |
| Designed by | | Checked by | |
| Issued for | | Date | |

Special Permit February 5, 2019

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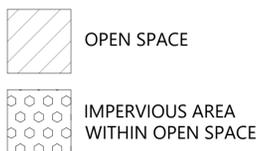
C-2

Sheet 2 of 16

Project Number 14206.00

OSRD Requirements

| | Detached Single-Family Dwelling Units | Single-Family Attached Dwelling Units | Provided |
|---------------------------------------|--------------------------------------------------------------------|--------------------------------------------------------------------|-----------------|
| Lot Size | 10,000 SF | 7,500 SF | 627,605 SF |
| Lot Frontage on Existing Street | 100% of lot frontage requirement in underlying district (125 FEET) | 100% of lot frontage requirement in underlying district (125 FEET) | 288.4 FEET |
| Lot Frontage on an Interior Drive | 75 FEET | 75 FEET | N/A |
| Perimeter Tract Setback | 30 FEET | 30 FEET | 52.9 FEET |
| Front Setback on Existing Street | 100% of front setback in underlying district (40 FEET) | 100% of front setback in underlying district (40 FEET) | 288.4 FEET |
| Front Setback on an Interior Drive | 20 FEET | 10 FEET | 20.1 FEET |
| Side Setback for Principle Structure | 10 FEET | 10 FEET | 52.9 FEET |
| Rear Setback for Principle Structure | 10 FEET | 10 FEET | 58.7 FEET |
| Side Setback for Accessory Structures | 5 FEET | 5 FEET | 82.3 FEET |
| Rear Setback for Accessory Structures | 5 FEET | 5 FEET | 757.7 FEET |
| Open Space | | 50% | 51.8% |
| Impervious Area Within Open Space | | 5% | 5.0% |



Clapboardtree Street
Public Variable Width

Temple Road
Public 40' Wide

Winter Street
Public Variable Width

Winter Street
Public Variable Width

Sherman's Way
Public 40' Wide

Colby Way
Public Variable Width

30' MINIMUM PERIMETER BUFFER (TYP)

30' MINIMUM PERIMETER BUFFER (TYP)

1
0.92± Acres
40000± SF

2
0.92± Acres
40000± SF

8
2.80± Acres
122020± SF

3
0.92± Acres
40000± SF

4
0.92± Acres
40000± SF

5
0.92± Acres
40000± SF

7
11.61± Acres
505584± SF

6
0.92± Acres
40000± SF

"PARCEL" TO BE CONVEYED TO TOWN



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Watertown, MA 02471
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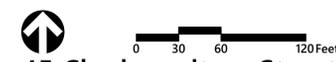
Endorsed By:

Planning Board Chair _____ Date _____

Sewer Commission Chair _____ Date _____

Certification of No Appeal:

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45 Clapboardtree Street
OSRD Zoning

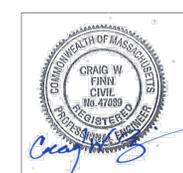
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Westwood, MA

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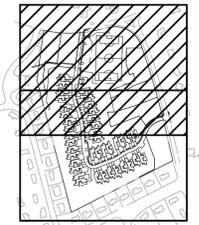
Special Permit February 5, 2019

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Drawing Title
Overall Site Plan



C-3
Sheet 3 of 16
Project Number 14206.00



Key

Not To Scale

Owner

UHS of Westwood Pembroke, Inc.
367 South Gulph Road
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**Layout and
Materials Plan**



C-4.1

Sheet 4 of 16

Project Number
14206.00





101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



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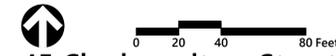
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Sewer Commission Chair _____ Date _____

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OSRD Zoning**

45 Clapboardtree Street
Westwood, MA

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**Layout and
Materials Plan**

Drawing Number



C-4.2

Sheet 5 of 16

Project Number
14206.00



Match Line
See Sheet C-4.1

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS OF THE BUILDINGS, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, ETC. HOME STYLES MAY BE SUBSTITUTED DEPENDING ON MARKET CONDITIONS.

Sherman's Way
Public Variable Width

Winter Street
Public Variable Width

Colby Way
Public Variable Width

4
0.92± Acres
40000± SF

7
11.61± Acres
505584± SF

5
0.92± Acres
40000± SF

6
0.92± Acres
40000± SF

REMOVE & REPLACE STOCKADE FENCE (TYP)

REMOVE & REPLACE STOCKADE FENCE (TYP)

REMOVE & REPLACE STOCKADE FENCE (TYP)

20' WIDE UTILITY EASEMENT TO TOWN OF WESTWOOD

16' WIDE UTILITY BASEMENT

PRIMARY ACCESS FOR PROPOSED LOT TO BE DIMENSIONED AND LOCATED IN THE FIELD

PRIMARY ACCESS FOR PROPOSED LOT TO BE DIMENSIONED AND LOCATED IN THE FIELD

5' R (TYP)

9' X 18' PARKING STALLS (TYP)

BOUND X-CUT (HELD)

BENCHMARK #3938
NAIL 1 FOOT UP 14" TREE
ELEVATION=187.13'

JOHN COPELAND
28 SHERMANS WAY
29-176
BOOK 14799, PAGE 133

RITA L RAMSDELL
26 SHERMANS WAY
29-177
BOOK 15982, PAGE 235

THOMAS KELLEHER
24 SHERMANS WAY
36-101
BOOK 26999, PAGE 381

PAUL A ERICKSON
22 SHERMANS WAY
36-102
BOOK 12083, PAGE 584

DAVID W SPICER
20 SHERMANS WAY
36-103
BOOK 12066, PAGE 676

GLENN H PARSONS
18 SHERMANS WAY
36-104
BOOK 12202, PAGE 407

ROBERT E McLAUGHLIN
59 COLBY WAY
36-105
BOOK 10907, PAGE 911

MICHAEL BOWLER
49 COLBY WAY
36-106
BOOK 11012, PAGE 314

RONALD E XAVIER
35 COLBY WAY
36-132
BOOK 24502, PAGE 304

JIA HUA
41 COLBY WAY
36-131
BOOK 31900, PAGE 329

ADAM VAZQUEZ
25 COLBY WAY
36-134
BOOK 11284, PAGE 61

MARY M KIM
15 COLBY WAY
36-135
BOOK 16897, PAGE 458

THOMAS R ROWE
7 COLBY WAY
36-136
BOOK 33531, PAGE 435

1 STORY BUILDING
HEIGHT=14.4'

2 STORY BUILDING
BUILDING HEIGHT=20.4'

CONCRETE BUMPER (TYP)

BITUMINOUS PAVEMENT

WOOD STAKE FENCE

WOOD STAKE FENCE

WOOD STAKE FENCE

ACCESS AND UTILITY EASEMENT

ACCESS EASEMENT

TEMPORARY REAL ESTATE SIGN

STOP SIGN

STREET SIGN PER TOWN STANDARD

MEET EXISTING CURB

CROSSWALK

ACR

ACR

ACR

WOODED AREA

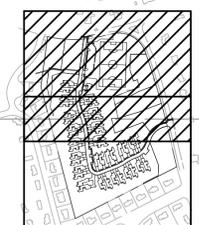
WOOD STAKE FENCE

Cut/Fill Summary

| Name | Cut | Fill | Net |
|--------------------|------------------|------------------|------------------------|
| Earthwork EX to PR | 16242.30 Cu. Yd. | 29063.39 Cu. Yd. | 12821.09 Cu. Yd.<Fill> |
| Totals | 16242.30 Cu. Yd. | 29063.39 Cu. Yd. | 12821.09 Cu. Yd.<Fill> |



101 Walnut Street
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617.924.1770



Key

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Owner

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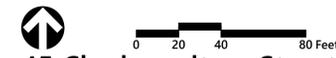
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Planning Board Chair _____ Date _____

Sewer Commission Chair _____ Date _____

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OSRD Zoning**

45 Clapboardtree Street
Westwood, MA

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B Response to Comments 4/1/19

A Response to Comments 3/25/19

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Grading & Drainage Plan

Drawing Number
C-5.1
Sheet 6 of 16
Project Number
14206.00



Saved Thursday, April 11, 2019 4:21:55 PM NPORETTA Plotted Wednesday, April 17, 2019 10:07:40 AM Finn, Craig

Match Line
See Sheet C-5.2

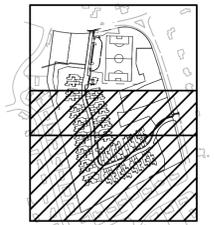
SUBSURFACE INFILTRATION SYSTEM
45 STORMCAPTURE SC1 (3' HIGH) UNITS
BOTTOM OF STONE = 181.4
BOTTOM OF STRUCTURE = 182.4
TOP OF STRUCTURE 185.98

Sherm
PUD

Winter St
Public Variable Width



101 Walnut Street
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Watertown, MA 02471
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46 Glen Avenue
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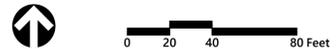
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Westwood, MA

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Grading & Drainage Plan



C-5.2

Sheet 7 of 16

Project Number
14206.00



Match Line
See Sheet C-5.1

Sherman's Way
Public AD Wide

Winter Street
Public Variable Width

Colby Way
Public Variable Width

SUBSURFACE INFILTRATION SYSTEM
45 STORMCAPTURE SC1 (3' HIGH) UNITS
BOTTOM OF STONE = 181.4
BOTTOM OF STRUCTURE = 182.4
TOP OF STRUCTURE 185.98

SUBSURFACE INFILTRATION SYSTEM
72 STORMCAPTURE SC1 (4' HIGH) UNITS
BOTTOM OF STONE = 178.0
BOTTOM OF STRUCTURE = 179.0
TOP OF STRUCTURE 183.58

ROOF DRAIN OUTLETS TO
BE FIELD LOCATED (TYP)

ROOF DRAIN COLLECTION
SYSTEM (TYP)

APPROX. LIMIT OF
CLEARING (TYP)

ROOF DRAIN COLLECTION SYSTEM (TYP)

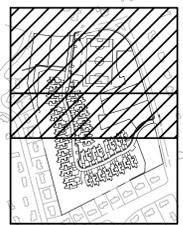
LEACHING CHAMBER (TYP)

MONITORING WELL (TYP)

MONITORING WELL (TYP)



101 Walnut Street
PO Box 9151
Watertown, MA 02471
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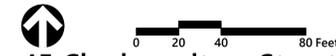
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OSRD Zoning**

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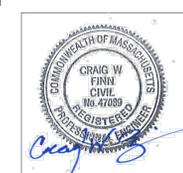
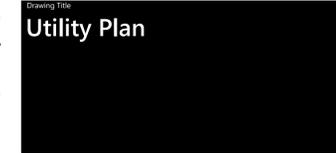
A Response to Comments 3/25/19

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C-6.1

Sheet 8 of 16

Project Number 14206.00



CONNECT TO EXISTING 8" WATER. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO START OF CONSTRUCTION.

CONNECT TO EXISTING GAS MAIN. CONTRACTOR TO VERIFY GAS LOCATION & COORDINATE CONNECTION WITH GAS COMPANY.

CONNECT PROPOSED UNDERGROUND (E/T/C) ELECTRIC TO EXISTING SYSTEM. DISPLAYED ELECTRIC FEATURES ARE CONCEPTUAL AND SUBJECT TO ELECTRIC COMPANY FINAL DESIGN.

CONNECT TO EXISTING GAS MAIN. CONTRACTOR TO VERIFY GAS LOCATION & COORDINATE CONNECTION WITH GAS COMPANY.

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CONNECT PROPOSED UNDERGROUND (E/T/C) ELECTRIC TO EXISTING SYSTEM. DISPLAYED ELECTRIC FEATURES ARE CONCEPTUAL AND SUBJECT TO ELECTRIC COMPANY FINAL DESIGN.

Match Line
See Sheet C-6.2

SUBSURFACE INFILTRATION SYSTEM
45 STORMCAPTURE SC1 (3' HIGH) UNITS
BOTTOM OF STONE = 181.4
BOTTOM OF STRUCTURE = 182.4
TOP OF STRUCTURE 185.98



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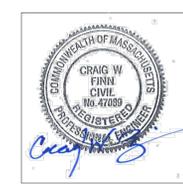

0 30 60 120 Feet

45 Clapboardtree Street
OSRD Zoning
45 Clapboardtree Street
Westwood, MA

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Erosion and Sediment Control Plan



C-7

Sheet 10 of 16

Project Number 14206.00

DOCUMENT USE:
THIS BASE PLAN ILLUSTRATES THE MINIMUM PERIMETER EROSION & SEDIMENTATION CONTROLS. THE SWPPP OPERATOR SHALL UPDATE THIS PLAN THROUGHOUT THE DURATION OF CONSTRUCTION TO SHOW THE LOCATIONS OF PROPOSED/CONSTRUCTED E&S CONTROLS DEEMED NECESSARY TO MEET THE REQUIREMENTS OF THE NPDES CGP.

PROJECT E&S NARRATIVE:
THE PROPOSED PROJECT CONSISTS OF 40 DUPLEX TOWNHOUSES. THE APPROXIMATELY 14.4 ACRE SITE WILL BE DEVELOPED AS A SINGLE-PHASE PROJECT. THE PROJECT DISTURBANCE EXCEEDS 1 ACRE THEREFORE IS SUBJECT TO THE REQUIREMENTS OF THE EPA CONSTRUCTION GENERAL PERMIT.

EROSION AND SEDIMENTATION CONTROL TECHNIQUES
THE EROSION AND SEDIMENTATION CONTROLS SHOWN HEREON ARE PERIMETER MEASURES ONLY AND ARE PROVIDED AS A STARTING POINT FOR CONTRACTOR'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR IS REQUIRED TO PROVIDE ADDITIONAL INTERIM EROSION AND SEDIMENTATION CONTROLS, INCLUDING BUT NOT LIMITED TO THOSE LISTED BELOW. THE CONTRACTOR SHALL MANAGE EROSION AND SEDIMENTATION DURING CONSTRUCTION TO PREVENT IMPACTS TO RESOURCE AREAS, ROADWAYS, AND ADJUTING PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE EROSION AND SEDIMENTATION CONTROLS THROUGHOUT THE DURATION OF CONSTRUCTION.

CATCH BASIN PROTECTION
NEWLY CONSTRUCTED AND EXISTING CATCH BASINS WILL BE PROTECTED WITH SILT SACKS THROUGHOUT CONSTRUCTION.

GRAVEL AND CONSTRUCTION ENTRANCE/EXIT
A TEMPORARY CRUSHED-STONE CONSTRUCTION ENTRANCE/EXIT WILL BE CONSTRUCTED. A CROSS SLOPE WILL BE PLACED IN THE ENTRANCE TO DIRECT RUNOFF TO THE SEDIMENT TRAP.

VEGETATIVE SLOPE STABILIZATION
STABILIZATION OF OPEN SOIL SURFACES WILL BE IMPLEMENTED WITHIN 14 DAYS AFTER GRADING OR CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, UNLESS THERE IS SUFFICIENT SNOW COVER TO PROHIBIT IMPLEMENTATION. VEGETATIVE SLOPE STABILIZATION WILL BE USED TO MINIMIZE EROSION ON SLOPES OF 3:1 OR FLATTER. ANNUAL GRASSES, SUCH AS ANNUAL RYE, WILL BE USED TO ENSURE RAPID GERMINATION AND PRODUCTION OF ROOTMASS. PERMANENT STABILIZATION WILL BE COMPLETED WITH THE PLANTING OF PERENNIAL GRASSES OR LEGUMES. ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED BY HYDRO-SEEDING OR SODDING. A SUITABLE TOPSOIL, GOOD SEEDBED PREPARATION, AND ADEQUATE LIME, FERTILIZER AND WATER WILL BE PROVIDED FOR EFFECTIVE ESTABLISHMENT OF THESE VEGETATIVE STABILIZATION METHODS. MULCH WILL ALSO BE USED AFTER PERMANENT SEEDING TO PROTECT SOIL FROM THE IMPACT OF FALLING RAIN AND TO INCREASE THE CAPACITY OF THE SOIL TO ABSORB WATER.

TEMPORARY SEDIMENT BASINS
TEMPORARY SEDIMENT BASINS WILL BE DESIGNED EITHER AS EXCAVATIONS OR BERMED STORMWATER DETENTION STRUCTURES (DEPENDING ON GRADING) THAT WILL RETAIN RUNOFF FOR A SUFFICIENT PERIOD OF TIME TO ALLOW SUSPENDED SOIL PARTICLES TO SETTLE OUT PRIOR TO DISCHARGE. THESE TEMPORARY BASINS WILL BE LOCATED BASED ON CONSTRUCTION NEEDS AS DETERMINED BY THE CONTRACTOR AND OUTLET DEVICES WILL BE DESIGNED TO CONTROL VELOCITY AND SEDIMENT. POINTS OF DISCHARGE FROM SEDIMENT BASINS WILL BE STABILIZED TO MINIMIZE EROSION. AT A MINIMUM, SEDIMENTATION BASINS SHALL BE DESIGNED AND CONSTRUCTED TO PROVIDE STORAGE FOR THE VOLUME OF RUNOFF GENERATED FROM A 2-YR. 24-HR DESIGN STORM, OR AT LEAST 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINING TO THE BASIN.

STOCKPILE MANAGEMENT
SIDE SLOPES OF STOCKPILED MATERIAL SHALL BE NO STEEPER THAN 2:1. STOCKPILES NOT USED WITHIN 30 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE. STRAW BALES AND SILT FENCE ARE TO BE PLACED AROUND THE STOCKPILE AREA APPROXIMATELY 10 FEET FROM THE TOE OF SLOPE.

DUST CONTROL
PERIODICALLY MOISTEN EXPOSED SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP AND REDUCE DUST.

TEMPORARY EROSION AND SEDIMENTATION CONTROL MAINTENANCE (THROUGHOUT CONSTRUCTION)
THE SITE CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCLUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS. RECORDS OF THE INSPECTIONS WILL BE PREPARED AND MAINTAINED ON-SITE BY THE CONTRACTOR.

SILT SHALL BE REMOVED FROM BEHIND BARRIERS IF GREATER THAN 6-INCHES DEEP OR AS NEEDED.

DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION.

SEDIMENT THAT IS COLLECTED IN STRUCTURES SHALL BE DISPOSED OF PROPERLY AND COVERED IF STORED ON-SITE.

EROSION CONTROL STRUCTURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN SECURELY STABILIZED. AFTER REMOVAL OF STRUCTURES, DISTURBED AREAS SHALL BE REGRADED AND STABILIZED AS SOON AS PRACTICAL.

MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENTS ONTO PAVED SURFACES.

INFILTRATION AREA PROTECTION DURING CONSTRUCTION
FOR THE LONG-TERM FUNCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S), CARE SHALL BE TAKEN IN THE INFILTRATION AREAS DURING CONSTRUCTION THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

1. INFILTRATION AREAS SHALL NOT BE USED AS TEMPORARY CONSTRUCTION. SEDIMENTATION BASINS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. IF INFILTRATION AREAS ARE USED AS TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION, THEN THE SOILS SHALL BE EXCAVATED A MINIMUM OF 2" FROM THE TEMPORARY BASIN BOTTOM TO REMOVE CLOGGED SOILS.
2. STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THE INFILTRATION BASIN(S)/STRUCTURE(S) DURING CONSTRUCTION.
3. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE OF THE INFILTRATION AREAS.
4. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S) SHALL ENSURE THAT THE SOIL AT THE BOTTOM OF THE EXCAVATION IS NOT COMPACTED OR SMEARED.

THE PERIMETER OF THE INFILTRATION AREAS SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF THE AREA FOR ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION ABILITY OF THE SYSTEM.

NOTES:
1. SEWER SUBJECT TO FINAL DESIGN AND REFINEMENTS.

Owner
UHS of Westwood Pembroke, Inc.
367 South Gulph Road
PO Box 61558
King of Prussia, PA 19406

Applicant
The Green Company
46 Glen Avenue
Newton, MA 02459

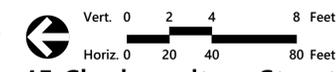
Endorsed By:

Planning Board Chair _____ Date _____

Sewer Commission Chair _____ Date _____

Certification of No Appeal:

Town Clerk _____ Date _____

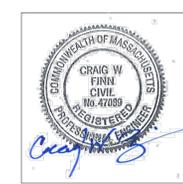


**45 Clapboardtree Street
OSRD Zoning**
45 Clapboardtree Street
Westwood, MA

| No. | Revision | Date | App'd. |
|-----------------------|----------------------|-------------------------|--------|
| B | Response to Comments | 4/11/19 | |
| A | Response to Comments | 3/25/19 | |
| Designed by _____ | | Checked by _____ | |
| Issued for _____ | | Date _____ | |
| Special Permit | | February 5, 2019 | |

Not Approved for Construction

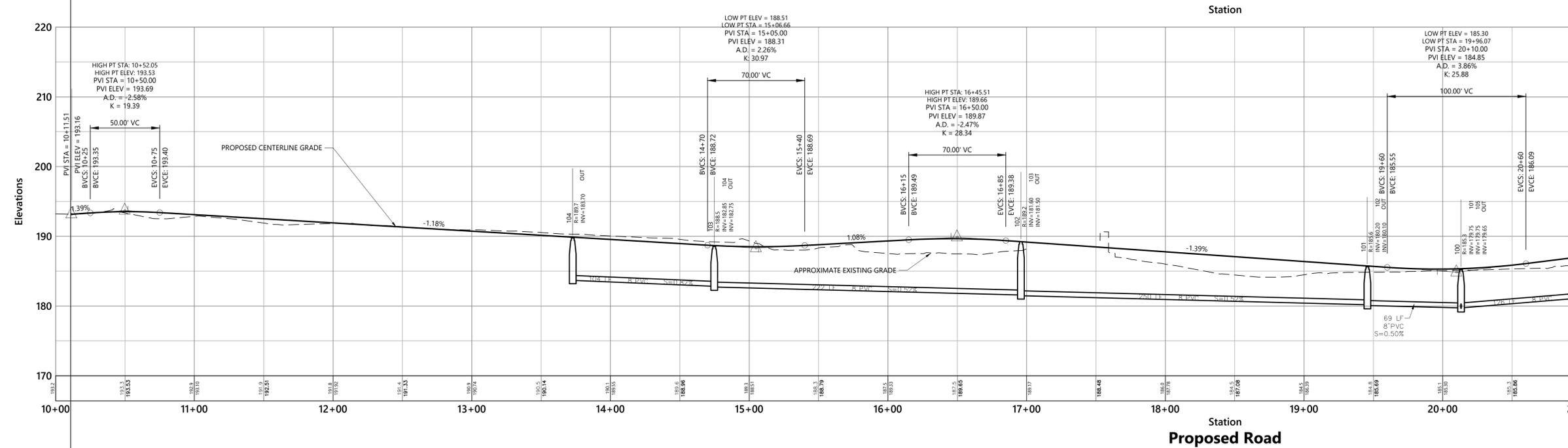
Plan & Profile

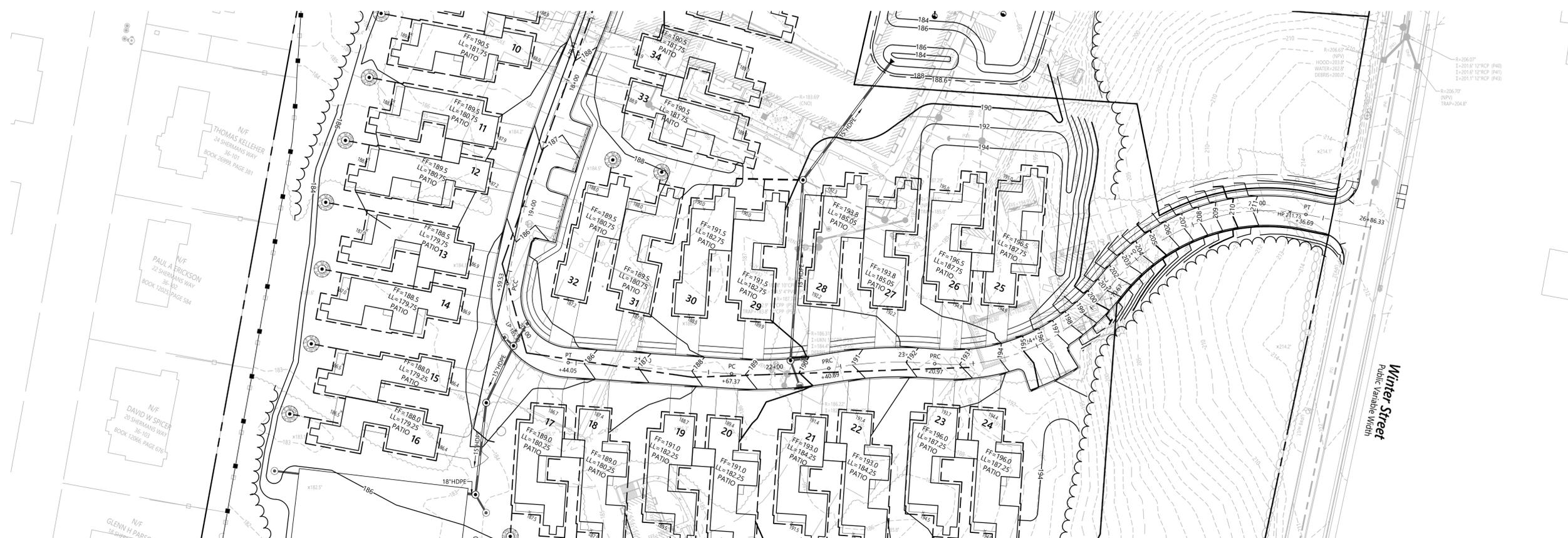


C-8.1

Sheet 11 of 16

Project Number
14206.00





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367 South Gulph Road
PO Box 61558
King of Prussia, PA 19406

Applicant
The Green Company
46 Glen Avenue
Newton, MA 02459

Endorsed By: _____
Planning Board Chair _____ Date _____

Sewer Commission Chair _____ Date _____
Certification of No Appeal: _____

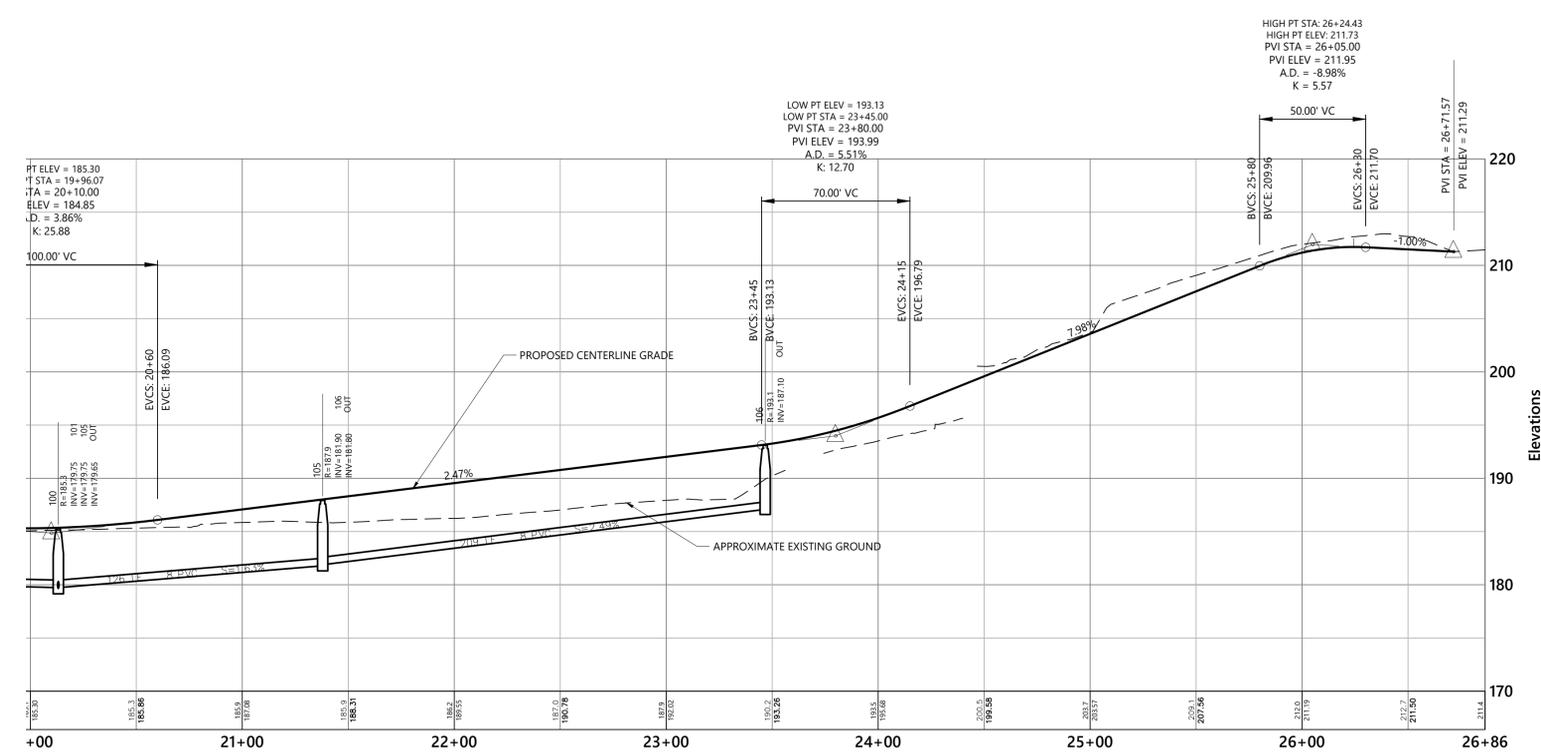
Town Clerk _____ Date _____
Vert. 0 2 4 8 Feet
Horiz. 0 20 40 80 Feet

**45 Clapboardtree Street
OSRD Zoning**
45 Clapboardtree Street
Westwood, MA

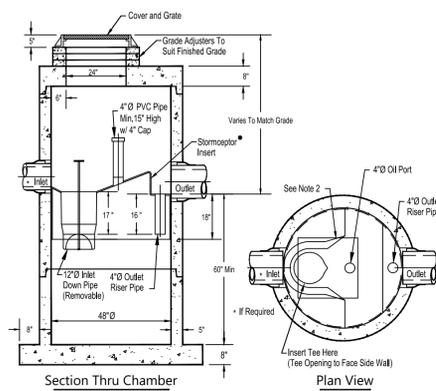
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Not Approved for Construction

Plan & Profile

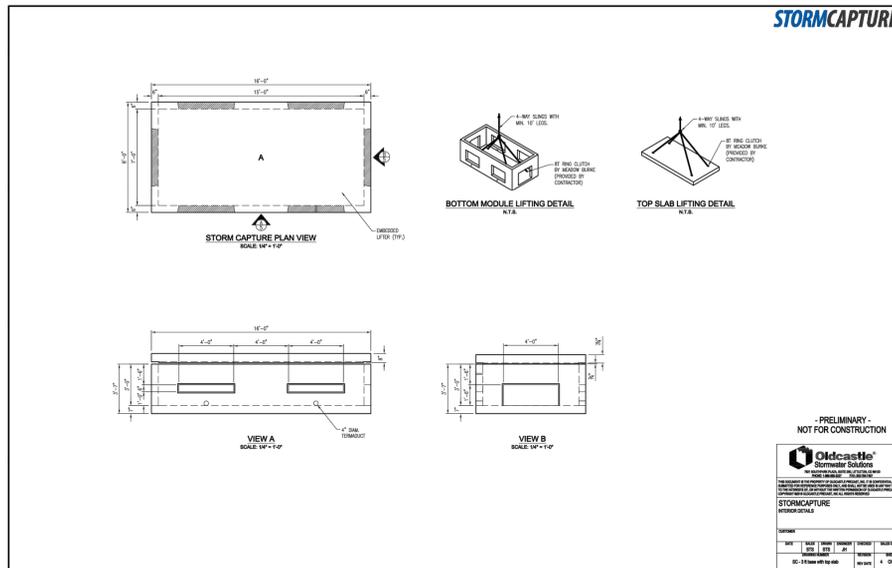


STC 450i Precast Concrete Stormceptor®
(450 U.S. Gallon Capacity)



- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 2. The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

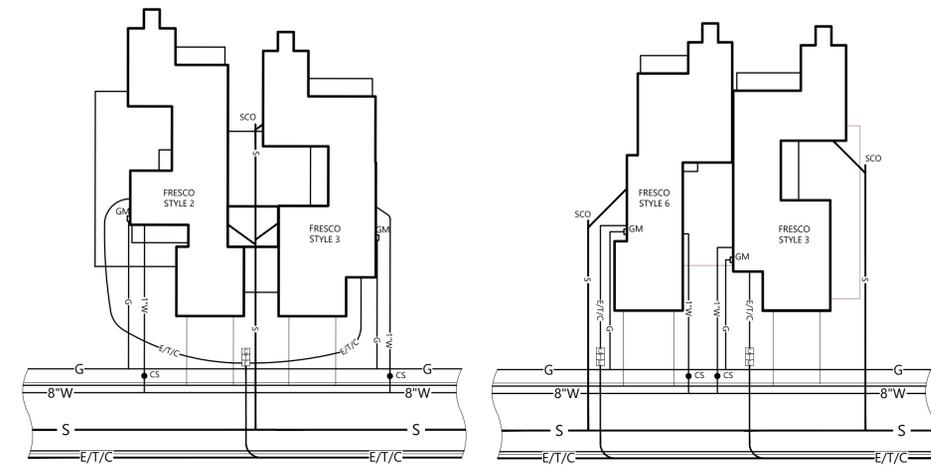
Rinker 027



Oldcastle Stormwater Solutions

STORMCAPTURE

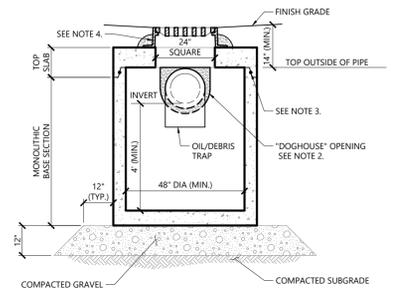
| Model | Length | Width | Height | Weight | Material |
|----------|--------|--------|--------|-----------|----------|
| STC 450i | 14'-0" | 10'-0" | 10'-0" | 1,200 lbs | Concrete |
| STC 600i | 14'-0" | 10'-0" | 10'-0" | 1,800 lbs | Concrete |
| STC 900i | 14'-0" | 10'-0" | 10'-0" | 2,700 lbs | Concrete |



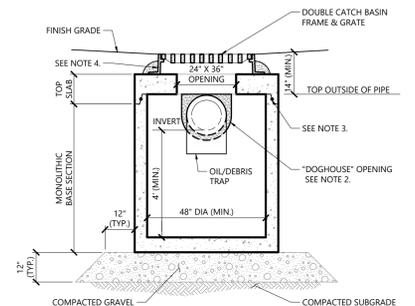
- NOTES:**
1. PIPING WITHIN 10 FEET OF ALL HOMES SHALL CONFORM TO THE STATE PLUMBING CODE.
 2. ALL HOMES SHALL HAVE A 6" CONNECTION TO THE 8" SEWER MAIN WITH A 2% MINIMUM SLOPE.
 3. ALL HOMES TO HAVE 1" POLYETHYLENE WATER SOURCE.
- ABBREVIATIONS:**
- CS = CURB STOP WITH BOX
SCO = SEWER CLEANOUT
E/C/T = ELECTRIC/CABLE/TV
G = GAS
GM = GAS METER
S = SEWER
W = WATER

Typical Home Utility Connection Detail

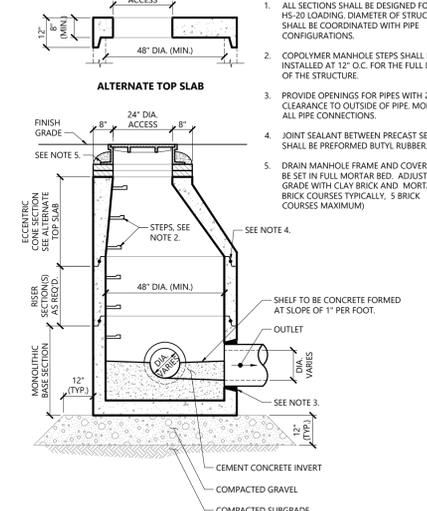
N.T.S.



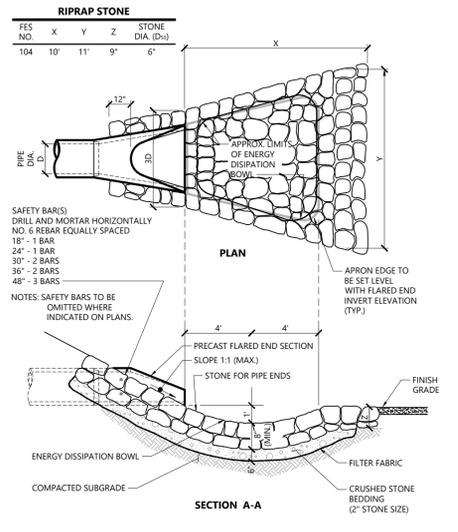
- NOTES**
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 2. PROVIDE DOGHOUSE OPENING FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON PIPE. GROUT ALL PIPE CONNECTIONS (NON-SHRINK GROUT).
 3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 4. CATCH BASIN FRAME AND GRATE (4" DEPTH) SHALL BE SET IN FULL MORTAR BED.
 5. ADJUST TO FINISH GRADE WITH CLAY BRICK AND MORTAR AS REQUIRED.



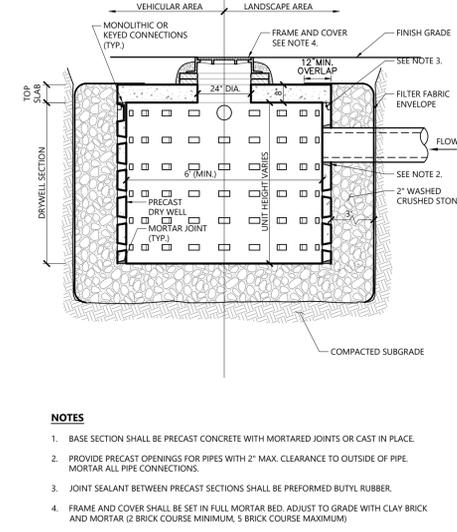
- NOTES**
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 2. PROVIDE DOGHOUSE OPENING FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON PIPE. GROUT ALL PIPE CONNECTIONS (NON-SHRINK GROUT).
 3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 4. CATCH BASIN FRAME AND GRATE (4" DEPTH) SHALL BE SET IN FULL MORTAR BED.
 5. ADJUST TO FINISH GRADE WITH CLAY BRICK AND MORTAR AS REQUIRED.



- NOTES**
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING. DIAMETER OF STRUCTURES SHALL BE COORDINATED WITH PIPE CONFIGURATIONS.
 2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 3. PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).



- NOTES**
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 2. PROVIDE DOGHOUSE OPENING FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON PIPE. GROUT ALL PIPE CONNECTIONS (NON-SHRINK GROUT).
 3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 4. CATCH BASIN FRAME AND GRATE (4" DEPTH) SHALL BE SET IN FULL MORTAR BED.
 5. ADJUST TO FINISH GRADE WITH CLAY BRICK AND MORTAR AS REQUIRED.



- NOTES**
1. BASE SECTION SHALL BE PRECAST CONCRETE WITH MORTARED JOINTS OR CAST IN PLACE.
 2. PROVIDE PRECAST OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 4. FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM).

Catch Basin (CB) Shallow Cover with Oil/Debris Trap 1/16

N.T.S. Source: VHB REV LD_105

DCB Shallow Cover with Oil/Debris Trap 1/16

N.T.S. Source: VHB REV LD_106

Drain Manhole (DMH) 1/16

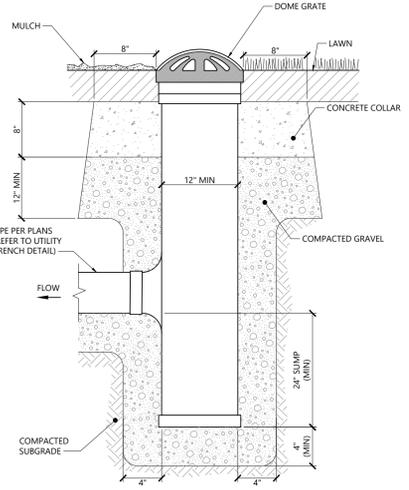
N.T.S. Source: VHB REV LD_115

Flared End Section (FES) with Stone Protection 1/16

N.T.S. Source: VHB REV LD_134

Leaching Chamber 1/16

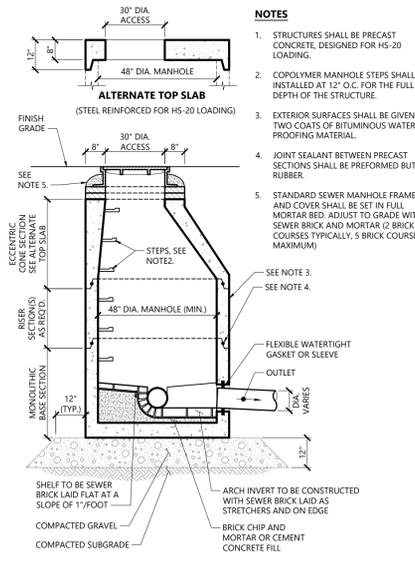
N.T.S. Source: VHB REV LD_180



- NOTES:**
1. LANDSCAPE DRAINS SHALL BE NYLOPLAST 12" DRAIN BASIN, OR APPROVED EQUAL.
 2. GRATES SHALL BE NYLOPLAST, 12" DOME GRATE MODEL 1299CGD, OR APPROVED EQUAL AS SHOWN ON PLANS.

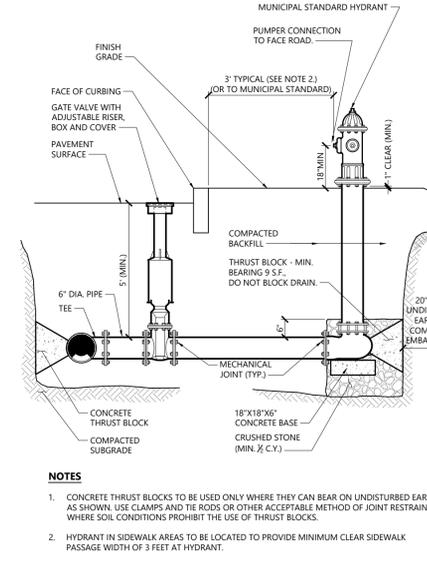
Area Drain (AD) 9/17

N.T.S. Source: VHB REV LD_197



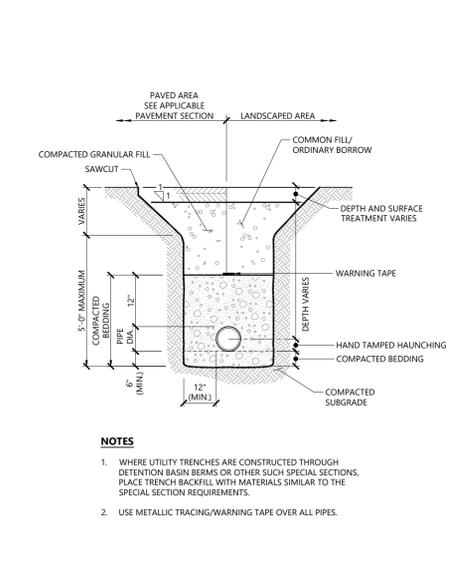
Sanitary Sewer Manhole (SMH) 1/16

N.T.S. Source: VHB REV LD_200



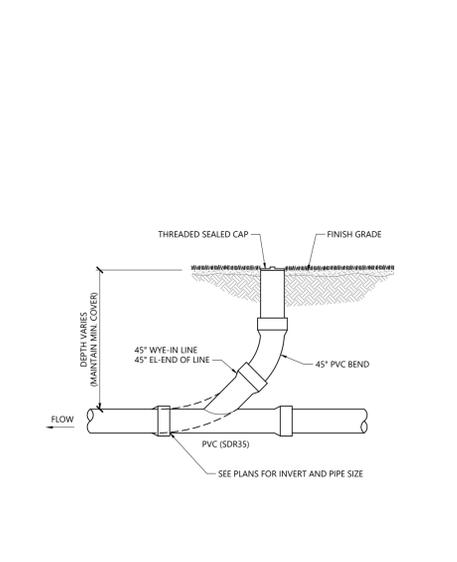
Hydrant Construction 1/16

N.T.S. Source: VHB REV LD_250



Utility Trench 1/16

N.T.S. Source: VHB REV LD_300



Cleanout - Landscape Area 1/16

N.T.S. Source: VHB REV LD_302



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Endorsed By:

Planning Board Chair _____ Date _____

Sewer Commission Chair _____ Date _____

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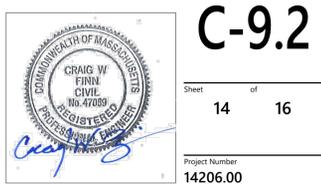
45 Clapboardtree Street OSRD Zoning

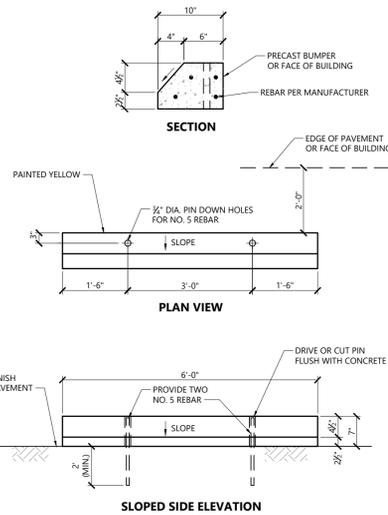
45 Clapboardtree Street
Westwood, MA

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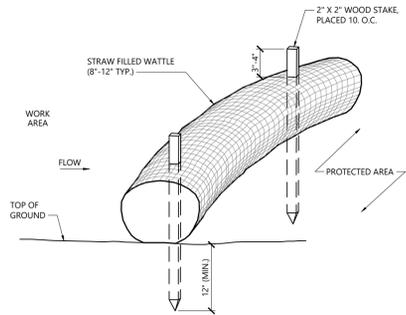
Special Permit February 5, 2019

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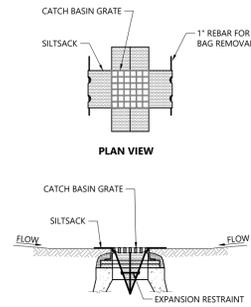


Concrete Bumper 1/16
N.T.S. Source: VHB REV LD_417



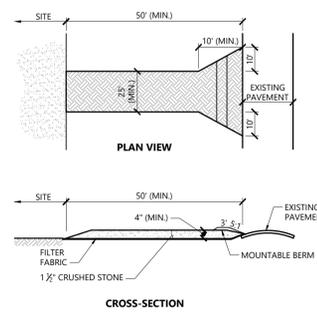
- NOTES**
1. STRAW WATTLE SHALL BE AS MANUFACTURED BY EARTHSAVER OR APPROVED EQUAL.
 2. STRAW WATTLES SHALL OVERLAP A MINIMUM OF 12 INCHES.
 3. STRAW WATTLE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
 4. TEMPORARY STRAW WATTLES TO BE REMOVED BY CONTRACTOR. ALL OTHERS TO REMAIN IN PLACE UNLESS DIRECTED OTHERWISE BY ENGINEER.
 5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Straw Wattle - Erosion Control Barrier 1/16
N.T.S. Source: VHB REV LD_659



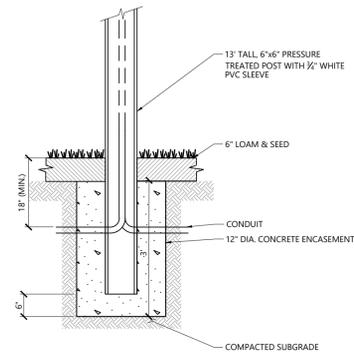
- NOTES**
1. INSTALL SILT SACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
 2. GRATE TO BE PLACED OVER SILT SACK.
 3. SILT SACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

Silt sack Sediment Trap 1/16
N.T.S. Source: VHB REV LD_674



- NOTES**
1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit 1/16
N.T.S. Source: VHB REV LD_682



Light Post Foundation 9/17
N.T.S. Source: VHB LD_700



Light Pole 11/15
N.T.S. Source: VHB LD_



Garage Light Location 11/15
N.T.S. Source: VHB LD_



Pallerton Way 1 Light Large Outdoor Lantern - OZ
O49581OZ (Olde Bronze) Height 20.25"
For Street Lights



Pallerton Way 1 Light Small Outdoor Lantern - OZ
O49579OZ (Olde Bronze)
Height: 14.25"
For garage fronts and rear lights

Kichler Pallerton Way collection

Light Schedule 11/15
N.T.S. Source: VHB LD_

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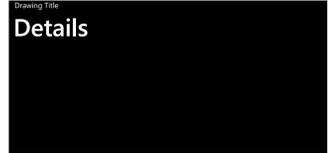
**45 Clapboardtree Street
OSRD Zoning**

45 Clapboardtree Street
Westwood, MA

| No. | Revision | Date | Appr'd. |
|-----|----------------------|---------|---------|
| C | Response to Comments | 4/17/19 | |
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Issued for _____ Date _____
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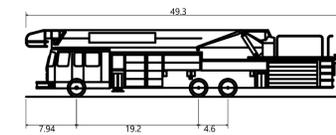
C-9.3

Sheet 15 of 16

Project Number
14206.00



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



Westwood Fire
Overall Length 49.300ft
Overall Width 7.9400ft
Overall Body Height 19.200ft
Min Body Ground Clearance 4.6200ft
Track Width 8.0000ft
Lock-to-lock time 6.0000s
Max Steering Angle (Virtual) 41.00°

Fire Equipment Template

N.T.S.



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OSRD Zoning**

45 Clapboardtree Street
Westwood, MA

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C-10

Sheet 16 of 16

Project Number 14206.00

